

Development Context

The land at 247-251 St Albans Road, Sunshine North, Victoria, Australia, comprises a large, irregular shaped area of land within the Sunshine National Employment and Innovation Cluster. The land was formerly used as the head office and depot for City West Water which has since vacated the site. It supports a number of environmental and culturally significant features which are required to be addressed in future development of the land.

The Sunshine National Employment and Innovation Cluster is one of seven clusters identified across metropolitan Melbourne by Plan Melbourne 2017-2050: Metropolitan Planning Strategy. The Sunshine cluster is to become a focal point for education, research and health-related activities within Melbourne's west. The area is supported by the Sunshine Metropolitan Activity Centre which is located approximately 2.5 kilometres southeast of the subject land. Plan Melbourne identifies that the series of well-serviced Metropolitan Activity Centres will become a focal point for new housing, job creation and investment across Melbourne.

The "subject land" for this design competition is an island site bounded by St Albans Road to its southwest, the Western Ring Road to the northwest and the Stony Creek drainage channel to the east. The site abuts a vacant area of Industrial 1 zoned land which contains native grassland to its southeast. Older residential areas of Sunshine North are located on the opposite side of Stony Creek, and a future link will be provided to this area from the subject land via a bridge over Stony Creek to Metherall Street. A former landfill site, proposed to become "Sunshine Energy Park", is currently being rehabilitated on the opposite side of St Albans Road to the subject land.

Stony Creek to the site's eastern boundary, comprises a concrete drainage channel that runs through a number of industrial areas of Melbourne's west.

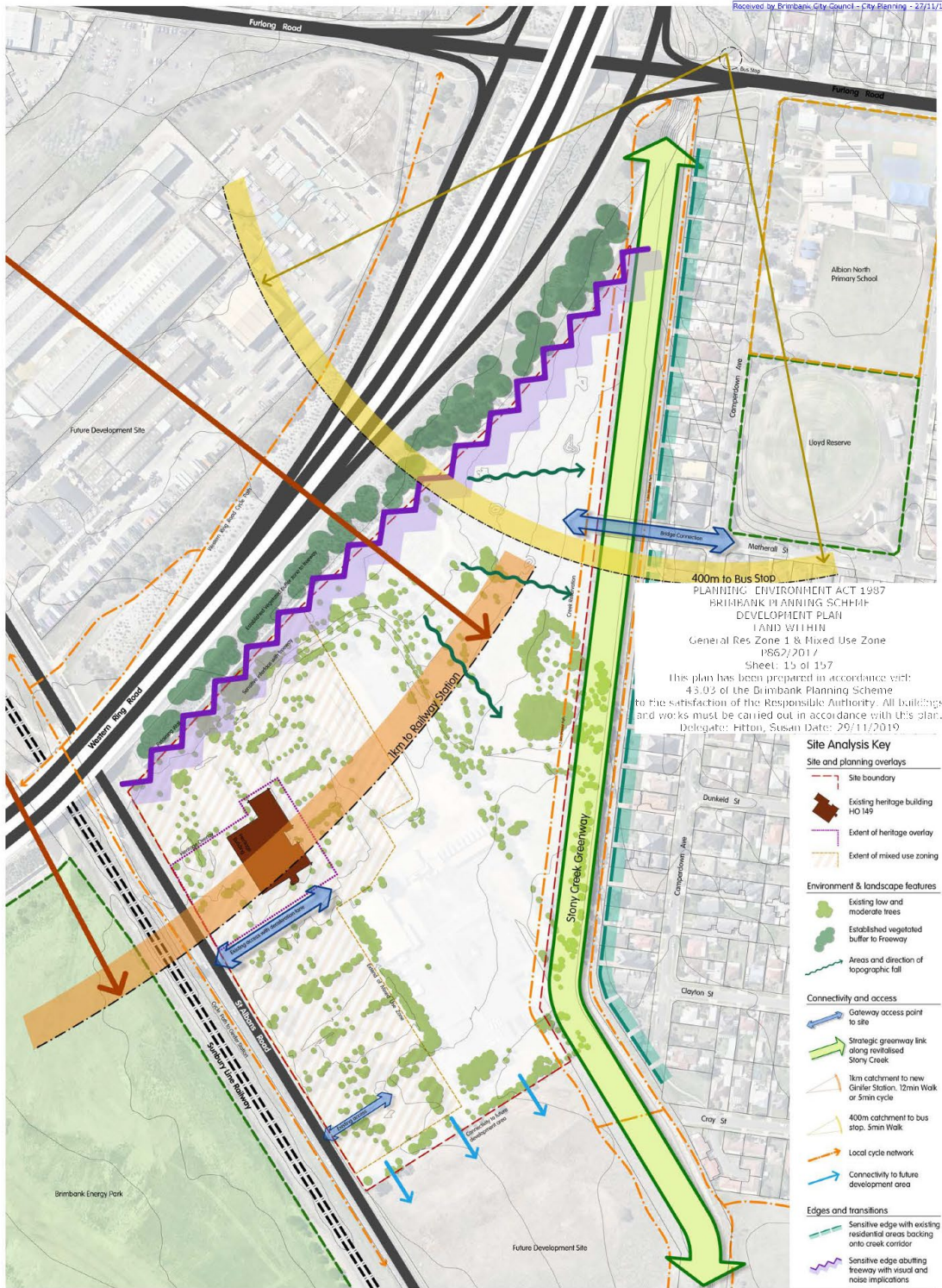


Strategic Context



Strategic context - Roberts Day

Site Analysis



Sunshine North
City of Brimbank
Development Plan -
Site Analysis Plan

REF NO. DRAW NO. REV
PLV SUN UD 1700 D

D. EXP. DESCRIPTION: 177206 MJ. DRAWN

SCALE 1:5000 100m

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DEVELOPMENT VICTORIA

hayball

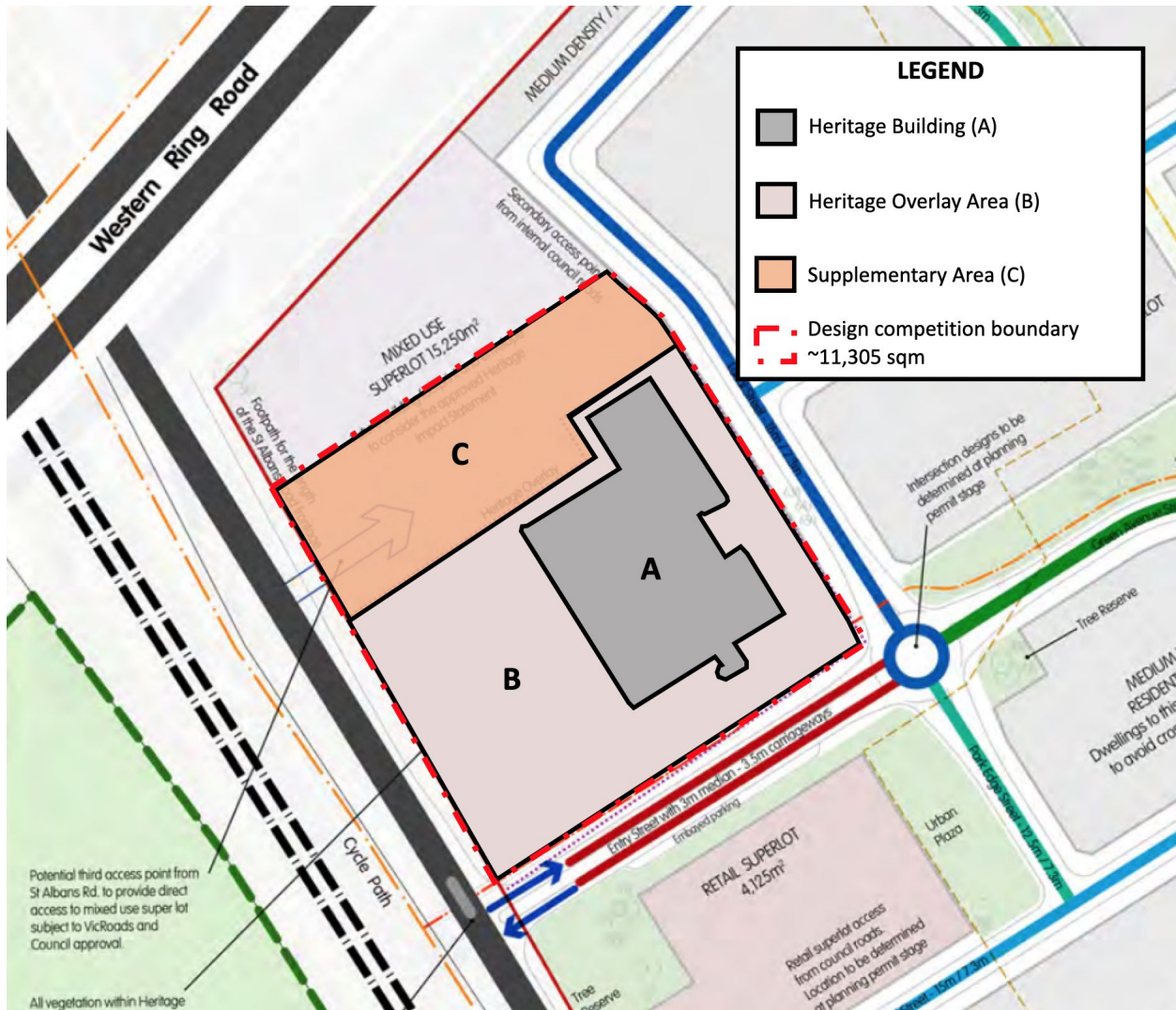
Cardno AECOM

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Summary Site Plan

The legend in this plan has been updated (v2) to more accurately depict the competition boundary area at ~ 11,305sqm.



Adjacent new residential development

New medium density residential homes are being constructed in areas adjacent to the heritage building. Whilst these are outside of the design competition scope, they are illustrated below as an indication of aesthetic and scale.



Adjacent new retail development

A new retail provision is planned near the heritage building. Whilst outside of the design competition scope, a cross-section is illustrated below as an indication of scale.

